



PROPOSED GARAGE AND DRYING ROOM ADDITION MERRITTS LODGE THREDBO

**13 MOUNTAIN DRIVE
THREDBO NSW 2625
LOT 601 DP1118588**

**DATE: JUNE 2023
REPORT NO: 22055
PREPARED FOR: PETER DAVIES
PREPARED BY: ACCENT TOWN PLANNING PTY LTD
REVISION: 02**

EXECUTIVE SUMMARY

Accent Town Planning has been engaged by Peter Davies, the owner of Merritts Lodge to prepare the Statement of Environmental Effects (SEE) to complement the Development Application (DA) to the NSW Department of Planning, Alpine Resorts Team, in accordance with the State Environmental Planning Policy (Precincts – Regional) 2021, under Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

The Statement for which this application applies is for the addition of a new single garage, drying room, associated driveway and path along with tree removal.

The proposed development is deemed to be of positive influence on the locality, through the provision of an enhanced visitor experience. The proposed garage and drying room addition will improve the amenity of the accommodation for visitors.

There are no proposed adverse effects to the local environment, landscape, streetscape, appearance, or scenic quality of the locality. The location of the new garage and drying room has been thoughtfully chosen in order to minimise the environmental impact of the proposed works.

This application is seeking the approval for the addition of a new drying room and single car garage to connect to the foyer of the existing Merritts Lodge.

FIGURE 1 MERRITTS LODGE THREDBO



1.0 INTRODUCTION

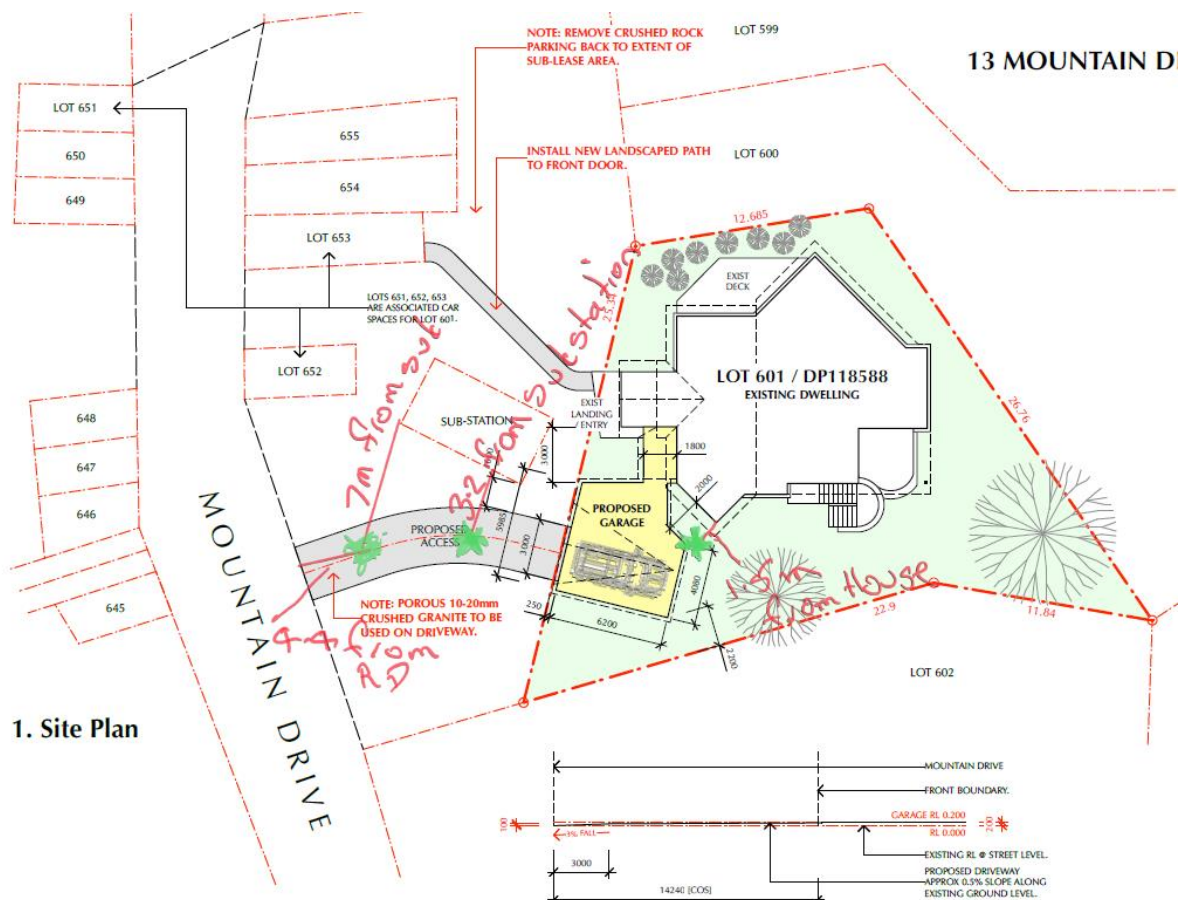
This Statement of Environmental Effects (SEE) will accompany a Development Application (DA) to be lodged with the Department of Planning and Environment (DPE) in accordance with the State Environmental Planning Policy (Precincts – Regional) 2021, under Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

The project for which this Statement applies is for the addition of a new single car garage and drying room and associated driveway to existing Merritts Lodge. The Lodge is located at Lot 601, 651-653 and part of Lot 665/ DP1118588, known as 13 Mountain Drive, Thredbo within the Kosciuszko National Park. Thredbo is located approximately 35km from Jindabyne, within Kosciuszko National Park, NSW.

The proposal aims to seek approval for the following works:

- Addition of a new single car garage, design and finishes to match existing lodge.
- Addition of a new drying room to be attached to the existing foyer and to connect to the new garage. New drying room will include a doorway to the existing foyer.
- New proposed access driveway from Mountain Drive to the new garage. Driveway to be porous 10-20mm crushed granite.
- New proposed landscaped path from Mountain Drive to the front door – From Lot 653 to Lot 601.
- Removal of granite from outside Lot 653 so as to shorten the parking area back to lease area.
- Tree removal.

FIGURE 2 SITE PLAN



2.0 SITE LOCATION & CONTEXT

2.1 SITE ANALYSIS

The site is located in Lot 601, 651-653 and part of Lot 665/ DP1118588, known as 13 Mountain Drive, Thredbo within the Kosciuszko National Park. The resort areas, including Thredbo are important to New South Wales due to their economic and social contribution as well as their location within a unique alpine environment. Thredbo is located approximately 35kms from the township of Jindabyne.

The Snowy Mountains is a popular tourist destination for both Australian and international travellers. Kosciuszko National Park offers an array of attractions including, Alpine Resorts, world class mountain biking and Australia's highest mountain, Mt Kosciuszko. The local economy is driven by the winter season with skiing and other winter sports being unique to this region of Australia. A growing summer tourism trade has been developing with activities such as hiking, fishing, kayaking, and mountain biking encouraging outdoor enthusiasts to visit the region year-round.

FIGURE 4 AERIAL VIEW OF SUBJECT SITE




FIGURE 5 CLOSE UP VIEW OF SUBJECT SITE



2.2 CULTURAL HERITAGE

An *Aboriginal Heritage Information Management System* (AHIMS) search conducted for Lot 601 DP1118588 on the 08/12/2022 found zero sites or places recorded or declared in the subject allotment. There have been no known Aboriginal artefacts found during previous construction of the existing building and surrounds.

FIGURE 6 AHIMS SEARCH RESULT LOT 601 DP1118588



NSW
GOVERNMENT

AHIMS Web Services (AWS)

Search Result

Your Ref/PO Number : 13 Mountain Drive

Client Service ID : 739495

Complete Town Panning

10 Kosciuszko Road

Jindabyne New South Wales 2627

Attention: Matthew Stewart


Email: matt@completecertification.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 601, DP:DP1118588, Section : - with a Buffer of 50 meters, conducted by Matthew Stewart on 09 December 2022.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.

Date: 09 December 2022



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location.*

The construction of the new garage and drying room will involve some ground disturbance and minor excavation works for the slab/footings and new driveway. There have been no known Aboriginal artefacts found during previous construction of the existing lodge, hence the likelihood for Aboriginal artefacts to be found is very unlikely.

As some parts of New South Wales have not been investigated in detail, there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS and are still protected by the National Parks and Wildlife Act 1974. Therefore, proposed works must proceed with caution and if any objects are to be found works will be stopped and appropriate authorities are to be notified.

ABORIGINAL CULTURAL HERITAGE DUE DILIGENCE**APPLICABLE PATHWAY**

Section 1, “Do you need to use this due diligence code”, of the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales (DECCW 2010)* {referred to as the ‘Due Diligence Code’ going forward} has determined that the Generic Due Diligence Code of Practice is applicable to follow.

GENERIC DUE DILIGENCE CODE

Question 1: Will the activity disturb the ground surface or any culturally modified trees?

Response: Yes, the proposal will involve minimal ground disturbance – proceed to question 2.

Question 2: Are there any:

- a) Relevant confirmed site records or other associated landscape feature information on AHIMS?

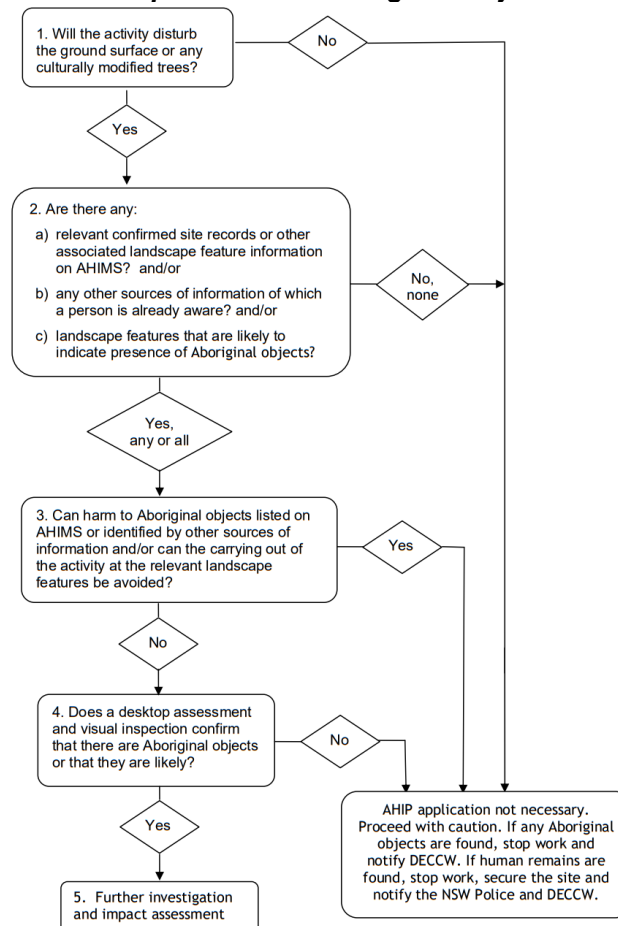
Response: No – see AHIMS report above.

- b) Any other sources of information of which a person is already aware?

Response: No other known sources of information or previous reports for the development area.

- c) Any landscape features that are likely to indicate presence of Aboriginal objects?

Response: No - The proposed development site does not contain any landscape features that are likely to indicate the presence of Aboriginal Objects.

**CONCLUSION:**

Therefore, as per the Due Diligence Code “AHIP application not necessary. Proceed with caution. If any Aboriginal objects are found, stop work, and notify National Parks and Wildlife Services (NPWS). If human remains are found, stop work, secure the site, and notify the NSW Police and NPWS”.

2.3 SITE CONTOURS

Landfall is generally consistent across the site, there is a significant upslope to the West of the site, and a gentle downslope towards Friday Drive. The slope from Friday Drive, then continues upward to the South-east through to the Alpine Way.

FIGURE 7 CONTOUR PLAN



2.4 GEOTECHNICAL

To supplement the application, a Geotechnical Investigation Report has been prepared by *ACT Geotechnical Engineers Pty Ltd* to assess the site suitability for the proposed garage and drying room addition.

As per the geotechnical assessment report provided:

A site inspection was carried out by Jeremy Murray, an experienced, Chartered, senior geotechnical engineer, and a site classification to AS2870 was conducted. Based on this, and a review of the architectural drawings, the following conclusions have been drawn:

- the current load-bearing capacity of the existing building will not be exceeded or adversely impacted by the proposed development, and
- the proposed works are of such minor nature that the requirement for geotechnical advice in the form of a geotechnical report, prepared in accordance with the "Policy", is considered unnecessary for the adequate and safe design of the structural elements to be incorporated into the new works, and
- in accordance with AS2870 "Residential slabs & footings", the site is classified as a Class "M" (moderately reactive) site.

2.5 SITE PHOTOS

PHOTO 1 – Garage Location

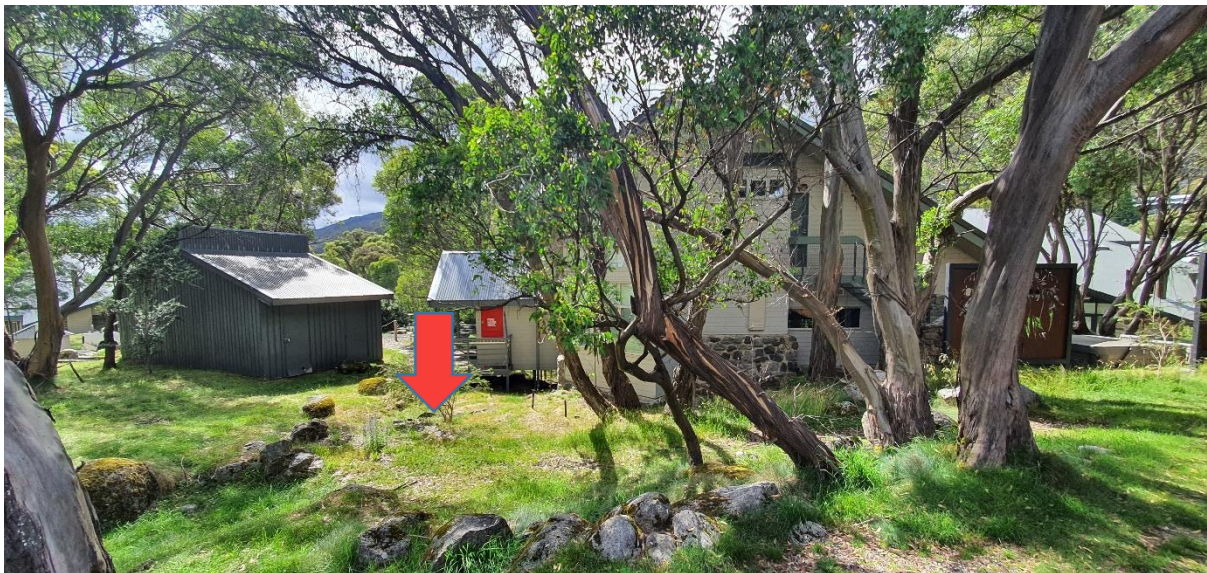


PHOTO 2 & 3 – Existing Parking



PHOTO 4 – Existing Path to Entry



PHOTO 5 – Tree Removal



3.0 PROJECT

The project for which this Statement applies is for the addition of a new garage, drying room, driveway and path to front door to the existing Merritts Lodge. The Lodge is located at Lot 601, 651-653 and part of Lot 665/ DP1118588, known as 13 Mountain Drive, Thredbo, within the Kosciuszko National Park.

The building will consist of the following materials.

- Engineered strip & pier foundations. Slab on fill with blockwork retainment.
- Timber frame to meet AS 1684 standard.
- Glazing to meet AS1288 standard.
- Fire resistant cladding to all walls and painted to match existing external walls.
- Colourbond roofing to match existing roofing.
- All construction to comply with BCA and Alpine SEPP.

3.1 PROPOSED GARAGE ADDITION

Currently, Merritts Lodge has 3 vehicle parking spaces along Mountain Drive (as indicated within the site plan). The proposed new garage will provide the lodge with one additional vehicle park in space, and a new driveway crossover that will allow vehicles to enter the new garage from Mountain Drive. The new garage is single storey and is proposed to reflect the style and character of the existing lodge, to ensure the addition is compatible with, and sympathetic to the existing development. The garage will include some storage space, a single car roller door, as well as an external access door, and a door through to the proposed new drying room, which will provide internal access to the lodge. KT have assessed the proposal and in order to keep the driveway width to a minimal have backed a drive in, reverse out option.

3.2 PROPOSED DRYING ROOM ADDITION

The proposed new drying room will be located from the southern elevation of the existing foyer. The drying will provide an internal walkway between the new proposed garage and Merritts Lodge. See architectural plan set for further detail.

3.3 PROPOSED DRIVEWAY

The proposed new driveway will provide direct vehicular access from Mountain Drive to the new garage. The new driveway will be porous 10-20mm crushed granite, across a flat/level slope as demonstrated in the driveway crossover section. The use of crushed granite for the driveway has been discussed with KT who have supported this proposal. The driveway will be used as access only to the garage and not as an additional on site parking space.

3.4 DEVELOPMENT ELEVATIONS

FIGURE 8 NORTH ELEVATION

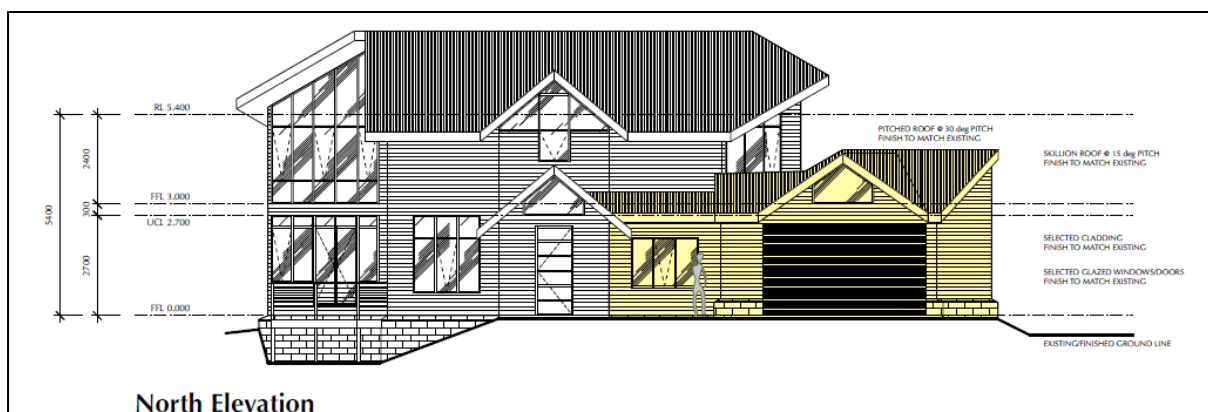


FIGURE 9 WEST ELEVATION

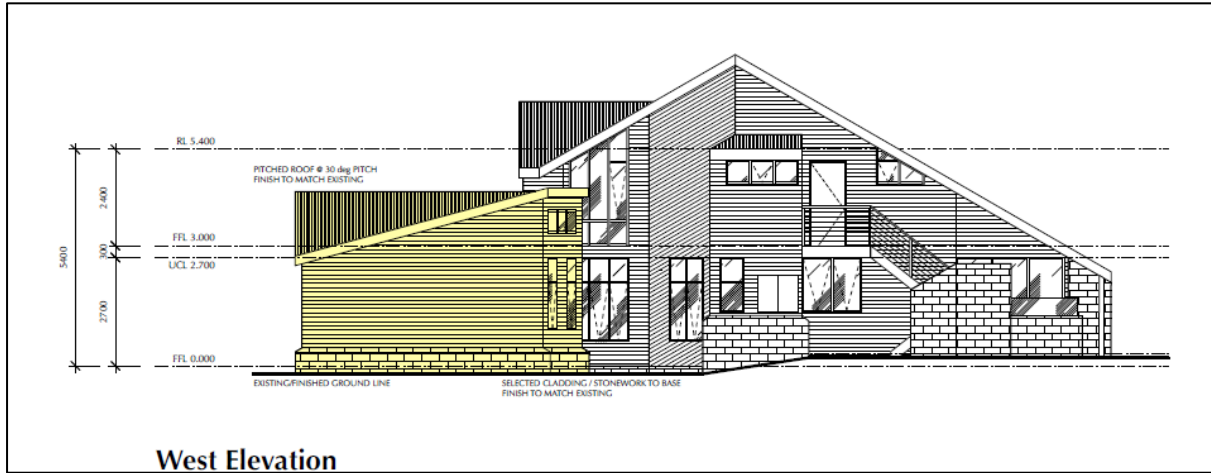


FIGURE 10 SOUTH ELEVATION

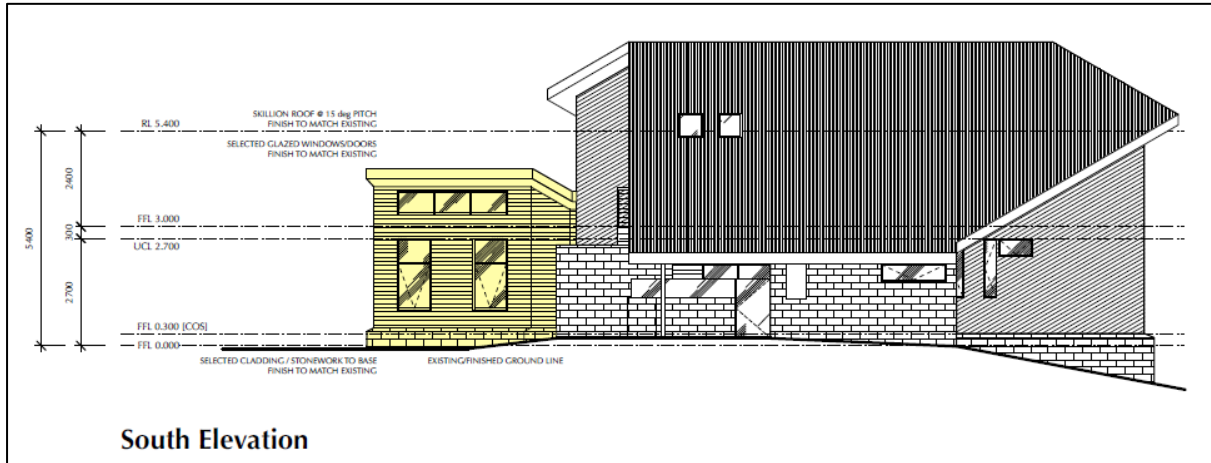
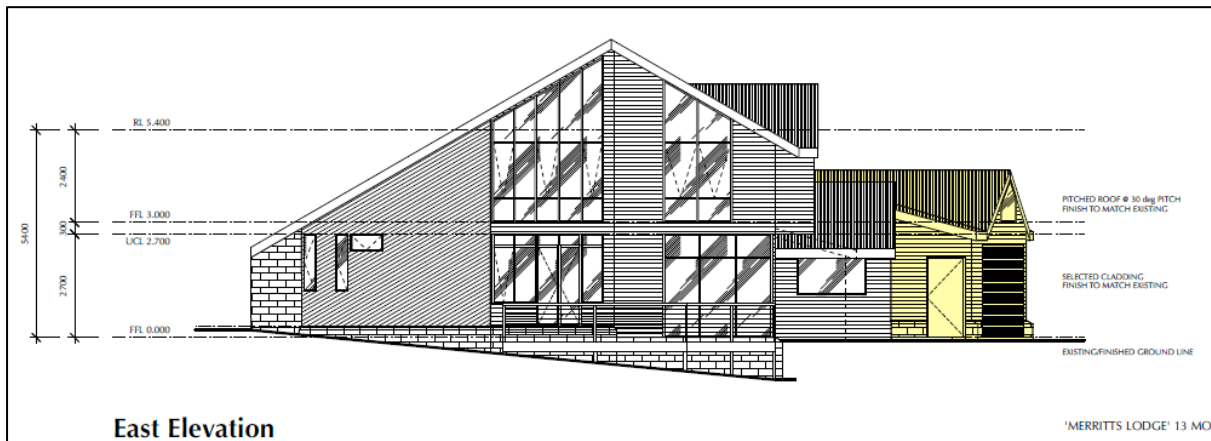


FIGURE 11 EAST ELEVATION



4.0 GENERAL INFORMATION

PROJECT DESCRIPTION

The project for which this Statement applies is for the addition of a new garage and drying room to existing Merritts Lodge, Thredbo along with associated driveway and path works.

SITE SUITABILITY

The site is suitable for the proposed development.

<ul style="list-style-type: none"> site constraints such as flooding, slope, geotechnical hazards, bushfire, and any other risks 	<p>The subject site is identified as being Bush Fire Prone Land (BFPL), and hence a Bushfire Hazard Assessment Report (BHAR) has been prepared in relation to the proposed development and will be submitted as part of this application.</p> <p>The subject site is not identified as flood prone land.</p> <p>The site is within “Zone G” of the Kosciusko National Parks Alpine Resorts, and hence a geotechnical investigation and slope instability risk assessment is required. See Geotechnical Report and Form 4 provided by <i>ACT Geotechnical Engineers Pty Ltd</i>.</p>
<ul style="list-style-type: none"> effects on the local environment, landscape, streetscape, appearance, or scenic quality of the locality 	<p>There are no proposed adverse effects to the local environment, landscape, streetscape, appearance, or scenic quality of the locality as the proposed development is consistent with surrounding development and existing buildings in Thredbo. The new addition will be consistent in design with other buildings in Thredbo.</p>
<ul style="list-style-type: none"> biological and ecological impacts including the impacts on fauna and flora 	<p>The subject site is not located in areas identified as High Biodiversity Values. The proposed addition will have minimal environmental impact.</p>
<ul style="list-style-type: none"> impacts on existing and future amenity of the locality 	<p>The proposed works are deemed to be of positive influence on Merritts Lodge and to the locality. The proposed garage and drying room addition is not anticipated to have any negative impacts on the amenity of the area.</p>
<ul style="list-style-type: none"> the age and condition of any structures or buildings. 	<p>Merritts Lodge is a 4-bedroom building, that was recently renovated (within the past 10 years). The lodge is in sound condition, the proposed new garage and drying room addition will not detriment the foundation or integrity of the existing building (as demonstrated within the structural engineering details).</p>

PRESENT AND PREVIOUS USES

Since construction, the Merritts Lodge has been utilised for tourist accommodation in Thredbo. The lodge has remained consistent in its use since construction. There are no proposed changes to the use of the lodge included within this application.

OPERATIONAL DETAILS
Thredbo Village and Ski Resort is Australia's premier alpine and summer tourist resort and village. Merritts Lodge is tourist accommodation lodge, utilised for private use only.
CHANGE OF USE OF A BUILDING (WHERE THERE IS NO BUILDING WORK)
Not applicable.
BUILDING CLASSIFICATION AND BUILDING CODE OF AUSTRALIA (BCA)
The Merritts Lodge is a Class 1A building.
SNOW DEPOSITION
The new garage and drying room addition will be constructed in accordance with AS1173.3 with a snow load of 5.80 kPa. The roof has a 30° pitched design, to prevent snow deposition on the roof structure and match in with the existing structure.
GEOTECHNICAL ENGINEERING SUMMARY
<p>ACT Geotechnical Engineers Pty Ltd have attended the site and noted in their Geotechnical Site Classification Report JM/13820 :-</p> <ul style="list-style-type: none"> <i>'- the current load-bearing capacity of the existing building will not be exceeded or adversely impacted by the proposed development, and</i> <i>- the proposed works are of such minor nature that the requirement for geotechnical advice in the form of a geotechnical report, prepared in accordance with the "Policy", is considered unnecessary for the adequate and safe design of the structural elements to be incorporated into the new works, and</i> <i>- in accordance with AS2870 "Residential slabs & footings", the site is classified as a Class "M" (moderately reactive) site.'</i>
STRUCTURAL ENGINEERING DETAILS
See Structural Engineering plans by Camstruct Consulting ref 22100 – S01 to S11 Rev A submitted as part of this application.
SOCIAL AND ECONOMIC IMPACT
The proposed garage, drying room addition and other works are anticipated to have only positive social and economic impacts. Merritts Lodge offers high quality accommodation for visitors to Thredbo, which contributes to the economic functioning of the ski resorts.
ACCESS AND TRAFFIC
Merritts Lodge is provided with direct vehicular access from Mountain Drive, which connects to Friday Drive. The proposed garage and drying room addition is not anticipated to generate additional traffic to the area.
PRIVACY, VIEWS, AND OVERSHADOWING
The proposed garage and drying room addition will be one-storey and will not impact upon the views and/or privacy of adjoining landowners. Due to the addition being one-storey, and the separation to other buildings, there are no negative overshadowing impacts associated with the development.

AIR AND NOISE**Air**

Works involving dust dispersion will use water spray to help keep material damp and dust down. Covers will be placed over waste storage areas and piles of excavated materials to prevent dust dispersion. When transporting materials that cause dust they will be dampened and covered before moving.

Noise

Noise on a construction site can become a form of pollution to the local environment through the use of plant, machinery, and tools. For protection of employees and visitors to the site they are issued with PPE including ear protection.

To reduce noise pollution from site the following procedures will be followed:

- All plant, machinery and tools will be maintained in good working order at all times.
- Work involving noisy tools or machinery to be used inside the building structure when possible.
- Strict hours of operation for each site will be implemented to reduce noise pollution to the surrounding areas.
- In the instance of receiving a complaint in regard to noise levels immediate rectification will occur as far as practical.

SOIL, WATER AND WASTEWATER MANAGEMENT

There are no proposed changes to existing wastewater management on site. The proposed works will involve ground disturbance for the footings/slab. Appropriate sediment erosion control measures will be implemented on site during construction, as recommended within the Site Environmental Management Plan (SEMP) at the end of this report.

HERITAGE

The site does not contain any heritage values/items, or have any heritage significance, nor do the sites surrounding Merritts Lodge.

ABORIGINAL CULTURAL HERITAGE

An *Aboriginal Heritage Information Management System* (AHIMS) search conducted for Lot 601 DP1118588 on the 08/12/2022 found zero sites or places recorded or declared in the subject allotment. There have been no known Aboriginal artefacts found during previous construction of the existing building and surrounds.

The construction of the new garage and drying room will involve some ground disturbance and minor excavation works for the slab/footings. There have been no known Aboriginal artefacts found during previous construction of the existing lodge, hence the likelihood for Aboriginal artefacts to be found is very unlikely.

As some parts of New South Wales have not been investigated in detail, there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS and are still protected by the National Parks and Wildlife Act 1974. Therefore, proposed works must proceed with caution and if any objects are to be found works will be stopped and appropriate authorities are to be notified.

VEGETATION REMOVAL

A number of trees will be removed as part of the construction. One tree is located 1.5m from the building, this needs to be removed as it is now too close to the building. The second tree is 3.2m from the substation, this was damaged during a recent storm, a large limb was removed leaving the tree unbalanced, this will need to be removed for safety. The third tree is 180m in diameter and is 4.4m from the road. These trees are deemed satisfactory for removal as they are within the IPA.

ENERGY

To be prepared and provided as part of the Construction Certificate.

WASTE

The proposed development is not expected to increase visitation numbers to the resort. As a result, there will be no need to increase the capacity of existing waste disposal facilities due to the proposed development.

Waste generated from the minor demolition to connect the drying room to the existing foyer and the general construction waste and other waste associated with the construction of the new garage and drying room will be disposed of in the skip bin and deposited in the nearest council waste facility.

DEMOLITION

The proposal includes minor demolition works where the drying room will connect to the existing building. Any waste materials will be deposited in a waste bin on site, and deposited at the nearest council waste facility.

TERMITE PROTECTION

To be conditioned as part of the consent.

SCHEDULE OF WORKS

Construction will be during the summer season from October to May with no works proposed to be conducted during the winter season June to September. The start date for construction is not yet set and the year will be determined after development consent has been issued.

5.0 PERMISSIBILITY, LEGISLATION AND REGIONAL PLAN

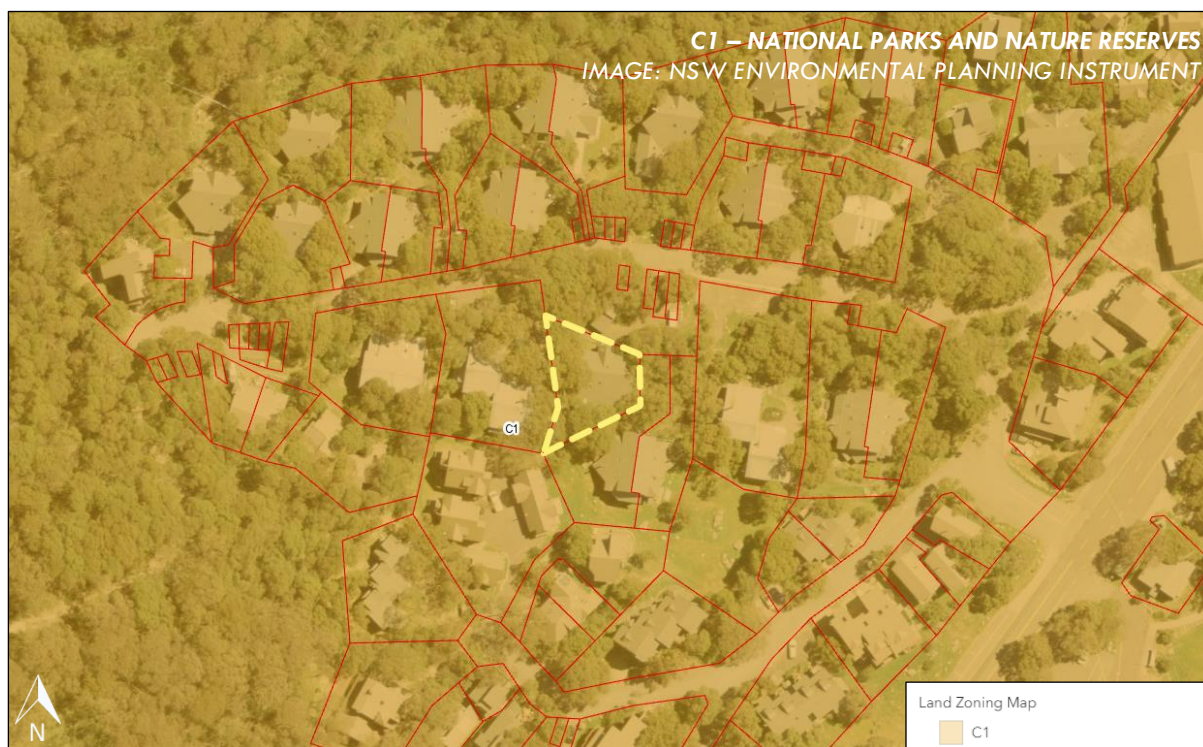
5.1 SOUTH EAST AND TABLELAND REGIONAL PLAN 2036

The proposed alterations and additions to Merritts Lodge will provide improved tourist accommodation, consistent with the purpose of the Regional Plan, which offers a framework to provide infrastructure and development to help strengthen the long-term resilience of the South-East and Tableland region. The regional Plan seeks to acknowledge the unique environmental and cultural significance of Kosciuszko National Park, whilst also enhancing visitor experience, which this application has taken into consideration.

5.2 STATE ENVIRONMENTAL PLANNING POLICY (PRECINCTS – REGIONAL) 2021

The proposal is for the addition of a new garage and drying room to the existing Merritts Lodge, a new proposed access driveway and landscaped path from Mountain Drive to the new garage and to the front door along with the removal of granite from outside Lot 653, which is associated with the operation of the existing tourist lodge. Some tree removal is required as part of this application. The proposed works are permissible under Chapter 4 'Kosciuszko Alpine Region' of the State Environmental Planning Policy (Precincts – Regional) 2021.

FIGURE 12 ZONING C1 NATIONAL PARKS AND NATURE RESERVES



THREDBO ALPINE RESORT

1 Permitted without consent

Nil

2 Permitted with consent

Advertising structures; Building identification signs; Business identification signs; Car parks; Commercial premises; Community facilities; Depots; Eco-tourist facilities; Emergency services facilities; Entertainment facilities; Environmental facilities; Environmental protection works; Fences; Function centres; Helipads; Information and education facilities; Infrastructure facilities; Lifting facilities; Management trails; Medical centres; Monitoring stations; Places of public worship; Public utility undertakings; Recreation facilities (indoor); Recreation facilities (outdoor); Recreation infrastructure; Ski slope huts; Ski slopes; Snow-making infrastructure; Staff accommodation; Telecommunication facilities; Tourist and visitor accommodation; Transport depots; Vehicle repair stations

3 Prohibited

Bed and breakfast accommodation; Farm stay accommodation; Any other development not specified in item 1 or 2

5.2.1 AIMS & OBJECTIVES OF CHAPTER (PART 4.1 PRECINCTS – REGIONAL SEPP)

<p>(1) The aim of this Chapter is to protect and enhance the Alpine Region by ensuring development is managed with regard to the principles of ecologically sustainable development, including the conservation and restoration of ecological processes, natural systems and biodiversity.</p>	<p>Noted. The proposed works are consistent with the aims and objectives of the policy as the development is contained within the established Woodridge development within Thredbo. No areas of high biodiversity have been identified on the site.</p> <p>The proposal will create positive social and economic impacts and works towards securing the long-term resilience of the accommodation.</p>
<p>(2) The objectives of this Chapter are as follows—</p> <p>(a) to encourage the carrying out of a range of development to support sustainable tourism in the Alpine Region all year round, if the development does not result in adverse environmental, social or economic impacts on the natural or cultural environment of the Alpine Region, including cumulative impacts on the environment from development and resource use,</p> <p>(b) to establish planning controls that—</p> <p>(i) contribute to and facilitate the carrying out of ecologically sustainable development in the Alpine Region, and</p> <p>(ii) recognise the Alpine Region's significant contribution to recreation and the tourism economy in the State,</p> <p>(c) to minimise the risk to the community of exposure to environmental hazards, particularly geotechnical hazards, bush fires and flooding, by—</p> <p>(i) generally requiring development consent on land in the Alpine Region, and</p> <p>(ii) establishing planning controls for buildings to ensure the safety of persons using the buildings if there is a fire.</p>	<p>Complies, no adverse impacts will result from this application.</p> <p>The proposed development will not generate additional visitation to the resort and hence will have no impact on the existing capacity of the water, effluent management or waste disposal systems.</p> <p>The proposed works are expected to have minimal environmental impact, based upon the scale of the works. With the implementation of appropriate environmental controls during construction, the potential impacts from the works on the natural environment are negligible.</p> <p>The proposed development has been designed to minimise disturbance or detriment the surrounding natural environment. This includes the consideration of bushfire threat and geotechnical considerations. See Bushfire Hazard Assessment Report (BHAR) submitted as part of this application.</p>

5.2.2 OTHER DEVELOPMENT CONTROLS (PART 4.4 PRECINCTS – REGIONAL SEPP)

4.21 Heritage Conservation	
<p>(1) The objective of this section is to conserve—</p> <p>(a) the environmental heritage of the Alpine Region, and</p> <p>(b) the heritage significance of heritage items, including associated fabric, settings and views, and</p> <p>(c) Aboriginal heritage items and Aboriginal places.</p>	<p>The proposed maintenance works will have no adverse impact on the environmental heritage of the Alpine Region.</p>
<p>(2) Development consent is required for the following in the Alpine Region—</p> <p>(a) demolishing or moving a heritage item,</p>	<p>The application does not involve a heritage items or disturbing land that contains an Aboriginal heritage item.</p>

<p>(b) altering a heritage item, including by doing the following to a heritage item that is a building—</p> <ul style="list-style-type: none"> (i) making changes to the detail, fabric, finish or appearance of the building's exterior, (ii) making structural changes to the building's interior, <p>(c) disturbing or excavating land that is, or contains, an Aboriginal heritage item,</p> <p>(d) erecting a building on land that is, or contains, a heritage item,</p> <p>(e) subdividing land that is, or contains, a heritage item.</p>	
<p>(3) Development consent is not required under this section for the following development—</p> <ul style="list-style-type: none"> (a) development that involves only the removal of a tree or other vegetation that the consent authority is satisfied is a risk to human life or property, (b) exempt development, (c) development that does not require development consent under section 4.14. 	N/A
<p>(4) The consent authority may, before work is carried out, give written notice to an applicant for development consent that development consent is not required under this section if the consent authority is satisfied the development—</p> <ul style="list-style-type: none"> (a) is of a minor nature or is for the maintenance of the heritage item, and (b) the development will not adversely impact the heritage significance of the heritage item. 	noted
<p>(5) In deciding whether to grant development consent for development under this section, the consent authority—</p> <ul style="list-style-type: none"> (a) must consider the effect of the development on— <ul style="list-style-type: none"> (i) the heritage significance of the heritage item, and (ii) Aboriginal objects known or reasonably likely to be located on the land, (b) may require the submission of a heritage conservation management plan, and (c) for development on land that is, contains or is near a heritage item— may require the preparation of a heritage impact statement. 	N/A
<p>(6) Development consent must not be granted to development on land that is, or contains, an Aboriginal heritage item, and that requires development consent under this section, unless the consent authority has—</p> <ul style="list-style-type: none"> (a) given written or other appropriate notice of the development to the local Aboriginal communities, and (b) considered responses received from the communities within 28 days after the notice is given. 	N/A
4.22 Conservation incentives	

(1) This section applies to development in the Alpine Region that— (a) involves a building that is a heritage item, or (b) is on land on which a building that is a heritage item is located.	Merritts Lodge is not identified as a Heritage Item Schedule 4 Heritage Items of the SEPP.
(2) Development consent may be granted to development to which this section applies, even if the development would otherwise be prohibited under this Chapter, if the consent authority is satisfied of the following— (a) granting the development consent will facilitate the conservation of the heritage item, (b) the development will be in accordance with a heritage conservation management plan that has been approved by the consent authority, (c) the development consent will require the carrying out of all necessary conservation work identified in the heritage conservation management plan, (d) the development will not adversely affect the heritage significance of the heritage item, including its setting, (e) the development will not have a significant adverse impact on the amenity of the surrounding area.	N/A

5.2.3 DEVELOPMENT ASSESSMENT & CONSENT (PART 4.5 PRECINCTS – REGIONAL SEPP)

4.26 Master plans	
(1) The Minister must prepare and approve a master plan that applies to the Alpine Region.	noted
(2) The master plan must contain the following information— (a) the strategic vision and general objectives for the Alpine Region, (b) a map showing existing and proposed types of development, (c) the performance criteria for development, (d) information about heritage items or places of heritage significance, (e) limitations on development on certain land, including environmentally sensitive areas, land prone to flooding and cultural heritage.	noted
(3) The master plan may also contain proposals for infrastructure facilities, public utility undertakings, roads and transport.	noted
(4) The master plan must be consistent with this Chapter.	noted
(5) The Minister may amend or replace a master plan.	noted

(6) A draft master plan must be published on the NSW planning portal for at least 28 days before it is approved by the Minister.	noted
(7) A master plan approved by the Minister must be published on the NSW planning portal and takes effect on the day it is published.	noted
4.27 Consultation with National Parks and Wildlife Service	
(1) Development consent must not be granted to development in the Alpine Region unless the consent authority has— (a) consulted with the National Parks and Wildlife Service, and (b) considered submissions received from the National Parks and Wildlife Service within the relevant period.	noted
(2) In this section— relevant period means— (a) 28 days after notice of the development application is given to the National Parks and Wildlife Service, or (b) another period determined by the Planning Secretary.	noted
4.28 Consideration of master plans and other documents	
(1) In deciding whether to grant development consent to development in the Alpine Region, the consent authority must consider the following— (a) the aim and objectives of this Chapter set out in section 4.1, (b) a draft development control plan that is intended to apply to the land and has been published on the NSW planning portal, (c) a conservation agreement under the Environment Protection and Biodiversity Conservation Act 1999 of the Commonwealth that applies to the land, (d) the Geotechnical Policy —Kosciuszko Alpine Resorts published by the Department in November 2003, (e) for development in the Perisher Range Alpine Resort— (i) the Perisher Range Resorts Master Plan, published by the National Parks and Wildlife Service in November 2001, and (ii) the Perisher Blue Ski Resort Ski Slope Master Plan adopted by the National Parks and Wildlife Service in May 2002.	Complies N/A. No DCP is in effect for the development site. N/A A geotechnical assessment and Form 4 are included in this application to satisfy the Geotechnical Policy. N/A Works are not within Perisher Range.
(2) In deciding whether to grant development consent to development in the Alpine Region, the consent authority must consider— (a) a master plan approved by the Minister under section 4.26 that applies to the land, or (b) if a master plan has not been approved—a draft master plan prepared under section 4.26 that is intended to apply	Complies

to the land and has been published on the NSW planning portal.	
4.29 Consideration of environmental, geotechnical and other matters	
<p>(1) In deciding whether to grant development consent to development in the Alpine Region, the consent authority must consider the following—</p> <ul style="list-style-type: none"> (a) measures proposed to address geotechnical issues relating to the development, (b) the extent to which the development will achieve an appropriate balance between— <ul style="list-style-type: none"> (i) the conservation of the natural environment, and (ii) taking measures to mitigate environmental hazards, including geotechnical hazards, bush fires and flooding, (c) the visual impact of the proposed development, particularly when viewed from the land identified as the Main Range Management Unit in the Kosciuszko National Park Plan of Management, (d) the cumulative impacts of development and resource use on the environment of the Alpine Subregion in which the development is carried out, (e) the capacity of existing infrastructure and services for transport to and within the Alpine Region to deal with additional usage generated by the development, including in peak periods, (f) the capacity of existing waste or resource management facilities to deal with additional waste generated by the development, including in peak periods. 	<p>Geotechnical Assessment has been prepared by ACT Geotechnical Engineers Pty Ltd and submitted with this application.</p> <p>The proposed development has been designed so as to minimise disturbance or detriment the surrounding natural environment. This includes the consideration of bushfire threat and geotechnical considerations. See BHAR and Geotech report that are submitted as part of this application.</p> <p>The location of the works within the built area of 'Woodridge' will result in little to no visual impact from the Main Range.</p> <p>The proposed works are expected to have minimal environmental impact.</p> <p>The proposed development will not generate additional visitation to the resort and hence will have no impact on the existing infrastructure capacity and services for transport.</p> <p>Likewise, with no increase in visitation there will be no need to increase the capacity of existing waste disposal facilities, water supply or the reticulated effluent management system.</p>
<p>(2) For development involving earthworks or stormwater draining works, the consent authority must also consider measures to mitigate adverse impacts associated with the works.</p>	<p>Minor earthworks and excavation will be required for the construction of the new garage and drying room addition. See Site Environmental Management Plan provided for sedimentation and erosion control measures. There are no proposed changes to existing stormwater drainage measures on site.</p>
<p>(3) For development the consent authority considers will significantly alter the character of an Alpine Subregion, the consent authority must also consider—</p> <ul style="list-style-type: none"> (a) the existing character of the site and immediate surroundings, and (b) how the development will relate to the Alpine Subregion. 	<p>The new garage and drying room addition have been designed to suit the mass and scale of the existing lodge and neighbouring buildings. A mix of materials have been chosen to fit in with the character of existing buildings located along Mountain Drive. The overall change to the built environment is considered of positive influence on the existing building ad locality.</p> <p>The proposed works will not alter the character of the Alpine Region.</p>
4.30 Kosciuszko National Park Plan of Management	

(1) Development consent may be granted to development in the Alpine Region even if the application has not established that the development is consistent with the Kosciuszko National Park Plan of Management.	The development is consistent with the Kosciuszko National Park Plan of Management.
(2) This section does not prevent the consent authority from refusing to grant consent to development on the basis that the development is not consistent with the Kosciuszko National Park Plan of Management. Note— Under the National Parks and Wildlife Act 1974, section 81(4), operations on land to which a plan of management under that Act applies may be undertaken only if they are undertaken in accordance with the plan of management, despite another Act or an instrument made under an Act.	noted

5.3 SNOWY MOUNTAINS SPECIAL ACTIVATION PRECINCT MASTER PLAN JULY 2022

5.3.1 CHAPTER 10 ALPINE PRECINCT PROVISIONS

Land Use (10.1) Performance Criteria	
A. Development is to be permissible and consistent with the Master Plan, Precincts—Regional SEPP, Alpine Development Control Plan, Kosciuszko National Park Plan of Management, and the National Parks and Wildlife Act.	Complies. Alpine DCP is not yet in effect.
B. In considering the suitability of the development, the consent authority must be satisfied that the development meets the performance criteria and development controls in this Master Plan and in the Alpine Development Control Plan.	Complies with Master Plan. Alpine DCP is not yet in effect.
<i>Appropriate locations for alpine development</i>	
C. Development consent can only be issued for development in the Alpine Precinct where: i. the uses will support the diversification of the Alpine Precinct's tourism offering and year-round economic viability. ii. the uses will not compromise the environmental, heritage and cultural values of the Alpine Precinct. iii. the uses will not exceed the established carrying capacity of the Alpine Precinct.	Complies
D. The location of future development should align with the relevant structure plan and be focused on land marked 'Development area'. Where development is proposed on land outside these areas, additional technical investigation may be required.	The proposed addition is within the established Woodridge area of Thredbo Resort.
E. Development for new or upgraded accommodation will meet the indicative sub-precinct yields and visitor thresholds set out in the Kosciuszko National Park Plan of Management and leasing arrangements. Refer also to Chapter 14 of this Master Plan	No change is proposed in the visitor capacity of Merritts Lodge.

Alpine Resorts (10.2) Performance Criteria	
A. Development should contribute to visitor attraction and village experience through: i. the prioritisation of infill development. ii. improvements to pedestrian and active transport connections. iii. creation and implementation of active street frontages.	The proposed development is deemed to be of positive influence on the locality, through the provision of an enhanced visitor experience. The proposed garage and drying room addition will improve the amenity of the accommodation for visitors.
B. Development should integrate public transport opportunities and should create gateways and nodes to create a sense of place and community in Alpine Resort sub-precincts.	Existing
C. Development should provide a range of tourist accommodation offerings and seasonal worker accommodation.	No change to the capacity or use of the existing accommodation
D. Development should be designed to reduce on-site power consumption and improve environmental performance	The additions will provide internal drying facilities to reduce the load of mechanical dryers.
E. Development should be designed to contribute to the alpine character of the Alpine Resorts and reflect the alpine landscape and natural environment.	Complies. The proposed works will retain the original alpine character of Woodridge, Thredbo Village being consistent with the surrounding buildings.
Alpine Accommodation (10.3) Performance Criteria	
These provisions are specific to development within the following Alpine Accommodation sub-precincts:• Ski Rider• Sponars Chalet • Thredbo Ranger Station• Creel Bay• Kosciuszko Tourist Park• Island Bend	N/A
Alpine Experience (10.4) Performance Criteria	
A. Public transport or mass transit connections should be integrated into the design of new developments, particularly in Alpine Resort and Alpine Accommodation sub-precincts.	N/A Existing development
B. Transport development must provide safe, reliable and accessible connections into and around the Kosciuszko National Park.	N/A
C. Development should be designed and staged to support and enable the ultimate growth of accommodation and attractions in the Alpine Region.	Complies.
D. Development of new and upgraded shared trails and paths should provide appropriate facilities and amenities.	N/A
E. Development should provide adequate car parking as part of a range of transport solutions (including the provision of accessible parking spaces).	Merritts Lodge has 3 vehicle parking spaces along Mountain Drive (as indicated within the site plan). The proposed new garage will provide the lodge with one additional vehicle park in space, and a new driveway crossover that will allow vehicles to enter the new garage from Mountain Drive.
F. Visitor attractions must be supported by appropriate amenities, facilities and car parking and must minimise its impact to the natural environment.	Complies. Existing
G. Visitor attractions should be designed and staged to support and enable the ultimate growth of attractions in the Alpine Region.	Existing.

5.3.2 CHAPTER 11 ENVIRONMENT & SUSTAINABILITY

Biodiversity (11.1) Performance Criteria	
A. All development is to apply the avoid, minimise and offset methodology.	Complies.
B. Development is to avoid threatened ecological communities and threatened species habitat; such vegetation should not be removed. Development may occur in these areas if it is for essential infrastructure	Complies. Impacts on the natural environment will be minimal. Tree removal is deemed satisfactory in this instance as outlined above.
C. Development should be focused on colocation and infill to minimise biodiversity impacts	N/A
D. Development should be concentrated in and around already disturbed areas. Where possible, development should provide a buffer between areas of high ecological value and buildings and structures.	Complies. The proposed works are in the Woodridge subdivision of Thredbo Village.
E. Development should consider the biodiversity impacts of bushfire asset protection zones (APZ) and associated vegetation management.	Complies. See Bushfire Assessment.
F. Development must offset any impacts to biodiversity through direct management measures within Kosciuszko National Park and should be related to the biodiversity impacted	N/A biodiversity is not impacted.
G. Riparian corridors must be preserved while ensuring consistency with the proposed Flooding and Drainage Strategy for the Precinct.	The proposed works do not have the potential to impact upon nearby terrestrial and aquatic habitats.
H. Any revegetation or planting within Kosciuszko National Park should follow the Rehabilitation Guidelines for the Resort Areas of Kosciuszko National Park	Noted.
Geotechnical (11.2) Performance Criteria	
A. Development must address the requirements of the Geotechnical Policy – Kosciuszko National Park (DPNIR, 2003). This includes: i. development on land covered by the geotechnical maps, under the above policy must ensure the requirements of the policy are met. ii. development on land not covered by the geotechnical maps under the above policy must ensure the requirements of the policy are met and should also use the risk susceptibility mapping to inform the requirements and design of development	A geotechnical hazard assessment and Form 4 has been completed by ACT Geotechnical Engineers Pty Ltd. Please refer to the Geotechnical Report JM/13820 submitted as part of this application.
B. Development must include an assessment of geotechnical risks.	See geotechnical hazard assessment by ACT Geotechnical Engineers Pty Ltd.
C. Buildings and structures must be designed to accommodate the specific geotechnical risks identified for the site	See geotechnical hazard assessment by ACT Geotechnical Engineers Pty Ltd & Structural Engineering Plans from Camstruct Consulting.
D. Excavations required for new developments must consider the potential to cause widespread slope instability and ensure appropriate mitigation measures are implemented to minimise and manage risk.	Complies see Structural Engineering Plans from Camstruct Consulting.
Flood Management Risk (11.3) Performance Criteria	
A. The Flood Planning Level is the 1% AEP plus 500mm freeboard to ensure consistency across the Precinct. Development must generally occur outside the Flood Planning Level unless it can demonstrate that risks can be suitably managed.	N/A

This allows for the maintenance of flood function and to avoid adverse effects on flood behaviour to the detriment of other properties or the environment of the floodplain	
B. Development within the Flood Planning Level should demonstrate that: i. all structures are constructed with flood compatible building components below the 1% AEP flood level plus 500mm freeboard. ii. all structures are designed to withstand the forces of floodwater, debris and buoyancy up to 1% AEP flood plus 500mm freeboard	N/A
C. Development within the Probable Maximum Flood area should demonstrate that: i. all emergency and evacuation infrastructure is to be constructed with flood compatible building components below Probable Maximum Flood level plus 500mm freeboard. ii. all emergency and evacuation infrastructure structures are to be designed to withstand forces of floodwater, debris, and buoyancy up to Probable Maximum Flood plus 500mm freeboard. iii. development must be sited, designed and located to avoid or mitigate the flood risk to people, property and infrastructure such that: <ul style="list-style-type: none"> flood risk is managed through site-specific built form and design. sensitive, vulnerable and critical uses are avoided in the floodplain. 	N/A
D. Development should mitigate the impacts of local overland flooding through the provision of adequate site drainage systems, where possible.	There are no proposed changes to existing stormwater management on site. Any stormwater runoff created from the development (from the roof) will either be diverted to existing stormwater infrastructure or will be disbursed throughout the site. The anticipated stormwater drainage runoff from the new addition will be minimal, as the addition is small in scale.
E. Development must consider and plan for emergency evacuation situations to ensure the safety of all areas within the Probable Maximum Flood extent.	N/A
Water Quality (11.4) Performance Criteria	
A. Maintain or improve the ecological condition of waterbodies and their riparian zones in catchments over the long term	Not applicable, the site is not located within 40m of a waterway.
B. Development in the Alpine Precinct should implement on-site water management and water quality systems through: i. the capture and re-use of water on-site. ii. the treatment of water on-site with any water discharged back into catchments having a neutral or beneficial effect on water quality. iii. incorporating water sensitive urban design principles into the development's-built form and landscaping, where possible.	Existing on-site water management and water quality systems will not be altered as part of this application.
C. The quality of stormwater discharged into receiving catchments must be pre-development quality or better in relation to pH, total suspended solids, total phosphorus, total	There are no proposed changes to existing stormwater management on site. Any stormwater runoff created from the development (from the roof) will either be diverted to existing

nitrogen and gross pollutants. The quality of water should aim to meet the following targets: i. Total Suspended Solids: 85% reduction. ii. Total Phosphorus: 60% reduction. iii. Total Nitrogen: 45% reduction.	stormwater infrastructure or will be disbursed throughout the site. The anticipated stormwater drainage runoff from the new addition will be minimal, as the addition is small in scale.
D. The quality of water discharged into receiving catchments should maintain electrical conductivity levels. Water quality should aim to maintain an electrical conductivity below the 30 µS/cm ANZG 2018 Guideline value for upland rivers of South-East Australia.	No change
E. Monitor macroinvertebrates to ensure they are consistently within Band A of the NSW AUSRIVAS model.	N/A
F. Erosion and sediment control should be managed during construction to ensure impacts to waterways are minimised in accordance with Managing Urban Stormwater Soils and Construction, also known as the Blue Book (current edition)	Minor earthworks and excavation will be required for the construction of the new garage and drying room addition. See Site Environmental Management Plan provided for sedimentation and erosion control measures.
G. Discharge of wastewater and/or contaminated stormwater to watercourses or waterways is not permitted unless other specified in an environmental protection licence issued under the Protection of the Environment Operations Act 1997. Development must obtain the appropriate water licenses in accordance with the Water Act 1912 and the Water Management Act 2000 and consider the relevant Water Sharing Plan	Noted.
Bushfire (11.5) Performance Criteria	
A. Development is to: i. minimise perimeters exposed to the bushfire hazard. ii. minimise vegetated corridors that permit the passage of bushfire towards development. iii. provide for the siting of future development away from ridge-tops and steep slopes, within saddles and narrow ridge crests. iv. ensure capacity of existing infrastructure (such as roads and utilities) can accommodate the increase in demand during emergencies as a result of the development.	The subject site is identified as being in bushfire prone land, and hence as outlined in Planning for Bushfire Protection – PBP 2019 (NSW RFS 2019) is considered Special Fire Protection Purpose (SFPP) and is required to obtain a BFSa from the RFS under section 100B of the RF Act. See Bushfire Assessment submitted as part of this application.
B. Asset Protection Zones are to be provided and maintained between a bushfire hazard and future development and are designed to address the relevant bushfire attack mechanisms	The entire lot is to be managed as an inner protection area (IPA). See the Bushfire Assessment Report.
C. Adequate access is to be provided from all properties to the wider road network for park users emergency services and to provide access to hazard vegetation to facilitate bushfire mitigation works and fire suppression	Mountain Drive is a two-wheel drive, all weather road. The widths and design would allow safe access for firefighters while residents are evacuating an area. The capacity of road surfaces is sufficient to carry fully loaded firefighting vehicles.
D. Development is to minimise levels of radiant heat, localised smoke and ember attack through development design and siting	The proposed new garage and drying room will be required to meet BAL FZ construction on all elevations as per the requirements of AS 3959
E. The subdivision of land and location of developments should consider the future uses of land and the inclusion of roads into Asset	N/A

Protection Zones	
Sustainability & Climate Change (11.6) Performance Criteria	
A. Development must be inclusive and sustainable and promote year round use.	Complies.
B. Development should preserve the Precincts landscape, cultural, heritage and biodiversity values by avoiding and minimising impact.	The proposed works are expected to have minimal environmental impact. The proposed development has been designed to minimise disturbance or detriment the surrounding natural environment. This includes the consideration of bushfire threat and geotechnical considerations. See BHAR and Geotech report that are submitted as part of this application.
C. Development should support sustainable and active transport opportunities and integrate open space. Buildings are to express a strong commitment to ESD principles and incorporate passive design, optimal orientation, effective sun shading, cross ventilation and open plan living. This should be evident in the external architectural expression.	Existing
D. Development should comply with applicable sustainability tools and programs for design, construction and operation.	Complies.
E. Consideration must be given to climate responsiveness and resilience. Climate change risks, hazard and opportunities must be considered in the design, construction and operation of development within the Precinct.	Consideration of materials has been made for the project.
F. Operators, lessees and licensees within the Precinct must prepare and maintain an Environmental Management System in accordance with ISO14001:2015 – Environmental management systems and the requirements of the Plan of Management for Kosciuszko National Park	Noted

5.3.3 CHAPTER 12 PLACE & LANDSCAPE

Aboriginal Cultural Heritage (12.1) Performance Criteria	
A. Areas of Aboriginal cultural heritage (included as part of the environmentally sensitive areas map) should not be developed. Development may occur in these areas if it is for essential infrastructure and where further Aboriginal cultural heritage assessment will be undertaken to appropriately mitigate and manage any impacts to Aboriginal cultural heritage items, places or areas.	The site is not noted as having Indigenous Heritage. Should any material suspected of being an Aboriginal object become unearthed in the course of works associated with the proposed works, all work at that location shall cease immediately as per Section 90 of the National Parks and Wildlife Act 1974, and the Office of Environment and Heritage shall be contacted immediately to arrange for representatives to inspect the site.
B. Aboriginal culturally significant places and sites should be integrated with areas of environmental significance and green space (where appropriate) across the Precinct. This may continue to evolve as greening opportunities across the Precinct are established	Noted.
C. Development in areas where surveys have not been undertaken require further Aboriginal	N/A

<p>cultural heritage assessment. These assessments must be carried out in accordance with Guide to investigating, assessing and reporting on Aboriginal cultural heritage in NSW (as modified from time to time) prior to any development on this land. These assessments must include a visual survey of the land. Once suitably assessed, any land identified as having Aboriginal cultural heritage significance should be included on the Environmentally Sensitive Areas (ESA) map. Development is to be assessed against the mapped zones of archaeological potential as required by the following:</p> <p>i. development within areas identified as 'disturbed land' do not require any further investigation beyond considering the potential for subsurface archaeological deposits. If current disturbances are considered to cover intact archaeological deposits, further investigation should take place that may include test excavation. Should development encounter any unexpected finds during construction, the procedures under the relevant unexpected finds protocol should be followed.</p> <p>ii. works within areas identified as "moderate ACH potential' or 'high ACH potential' should be avoided. Where development will impact these areas, further Aboriginal cultural heritage assessment must be undertaken. This assessment should include a visual inspection, possibly test excavation if warranted, and participation from the Aboriginal community</p>	
D. Development planned on land in which an Aboriginal object is located should be supported by a heritage impact assessment which should be prepared to assess the extent to which a proposed development would harm Aboriginal objects.	N/A
E. If impact to an Aboriginal object is unavoidable, an Aboriginal Heritage Impact Permit (AHIP) under Part 6 of the National Parks and Wildlife Act 1974 would be required.	Noted.
Historic Heritage (12.2) Performance Criteria	
A. Development in areas defined as 'disturbed land' can occur without further historic heritage investigation however must consider neighbouring heritage items and broader heritage values.	Noted.
B. Development on land where a heritage item is situated, that is a heritage item or is on land adjacent to a heritage item must prepare a statement of heritage impact.	N/A
C. Development in areas defined as 'high risk' or 'moderate risk' requires further heritage assessment where the development is likely to materially have a major affect on a heritage item or its value. Development is considered to have a materially major affect if it involves:	N/A
<p>i. the full or partial demolition of a building.</p> <p>ii. major alterations or additions.</p>	

<p>iii. major adverse impacts, such as the removal of significant fabric, obscuring key views or dominating a heritage item, or the removal of evidence of significant historical associations; and</p> <p>iv. impact to significant archaeological deposits.</p>	
<p>D. Development in areas defined as 'high risk' or 'moderate risk' requires further heritage assessment where the development is likely to materially have a minor affect on a heritage item or value. Development is considered to have a minor affect if it involves (but is not limited to):</p> <ul style="list-style-type: none"> i. repairs or restoration to fabric. ii. installation of fire safety equipment. iii. installation of disabled access. iv. replacement of awnings, balconies, etc. v. installation of signage or fencing. vi. excavation of areas without archaeological potential. vii. erection of temporary structures. viii. installation of safety and security equipment. 	N/A
<p>E. Where development is likely to materially have a major effect on a heritage item or value, further heritage assessment is required. This heritage assessment includes:</p> <ul style="list-style-type: none"> i. a visual inspection to determine the existing heritage values. ii. an archaeological assessment (if appropriate). iii. preparation of a statement of heritage impact. 	N/A
<p>F. Where development will have minor effect on a heritage item or value, a heritage assessment may be required. This heritage assessment may include:</p> <ul style="list-style-type: none"> a visual inspection to determine the existing heritage values. i. an archaeological assessment (if appropriate). ii. use of a previously prepared heritage study if applicable. 	N/A
<p>G. Development that is likely to have a materially major or minor effect on a heritage item or its value must:</p> <ul style="list-style-type: none"> i. identify the impacts to the heritage values of an item or place. ii. demonstrate the need for the impact and how alternatives to the impact have been considered. iii. demonstrate how the adverse impacts will be minimised or mitigated. 	N/A
<p>H. Development adjacent to a heritage item should ensure impacts to the heritage item are minimised, including through the provision of appropriate curtilages. There may be opportunities to reduce the curtilage to some heritage items if it can be demonstrated the development will not have a significant impact on the heritage item or its value.</p>	N/A
<p>I. Heritage items must be used for purposes that are appropriate to their heritage significance,</p>	N/A

including adaptive re-use where appropriate.	
J. Development is to ensure long-term heritage conservation outcomes are retained or interpreted to reflect the history of heritage items and places.	N/A
K. Development should through redevelopment or upgrades remove inappropriate or unsympathetic alterations and additions to heritage items and reinstate significant missing details and building elements, where possible.	Noted. N/A
Landscape, Character & Open Space (12.3) Performance Criteria	
A. Development should be designed to sensitively integrate into the landscape and should respond appropriately to the topography and climate of the Alpine Precinct	The location of the new garage and drying room has been thoughtfully chosen in order to minimise the environmental impact of the proposed works. The new addition will be consistent in design with other buildings in Thredbo.
B. Development should protect, conserve and enhance the Alpine Precinct's natural environment and create a green infrastructure network, where possible.	There are no proposed adverse effects to the local environment, landscape, streetscape, appearance, or scenic quality of the locality as the proposed works will be located in previously disturbed areas.
C. Landscaping and public open spaces should include plantings of native species found in surrounding plant communities, which aim to achieve the re-establishment of biodiversity in addition to aesthetic appeal and enhancement of the functionality of an area.	Landscaping is existing.
D. Revegetation and new plantings should follow the Rehabilitation guidelines for the Resort Areas of Kosciuszko National Park	No revegetation is proposed
E. Development should integrate stormwater management infrastructure with open spaces, where possible.	Existing.
Built Form (12.4) Performance Criteria	
General criteria for all development in the Alpine Region	
A. Buildings should be efficient, well designed and successfully integrated with the surrounding landscape. This will be achieved by: i. ensuring building bulk, orientation and design contributes to the energy efficiency of buildings, particularly with respect to thermal comfort. ii. ensuring new buildings are located within existing disturbed areas to minimise impacts on vegetation and natural processes. iii. siting development within existing disturbed areas to limit clearing and the expansion of new development areas. iv. incorporating climate resilient design principles in new development. v. applying suitable rehabilitation and native landscaping. vi. incorporating preparedness for natural hazards and climate change into development design. ensuring development creates activated public domain spaces and provides safe and accessible pedestrian connections between buildings, appropriate for all seasons	The proposed works are deemed to be of positive influence on Merritts Lodge and to the locality. The proposed garage and drying room addition is not anticipated to have any negative impacts on the amenity of the area.

B. Site earthworks must respond to local topography and geotechnical characteristics and be appropriate for the intended land use.	Complies. See Geotechnical Assessment by ACT Geotechnical Engineers Pty Ltd & Structural Engineering from Camstruct Consulting.
For village centres and public domain	
A. Development should create an integrated streetscape where active frontages promote movement between the private and public realms.	Complies
B. Building entries should connect to an accessible (providing equitable access to all pedestrians) pedestrian network through design features, wayfinding, and landscape treatments	Complies
C. Development should integrate and provide public seating, shelter and lighting to contribute to increased activity and safety in the public realm	N/A
D. Development should provide human-scale buildings ensuring building envelopes allow adequate solar access and views, including ensuring significant views to natural features are protected	The proposed garage and drying room addition will be one-storey and will not impact upon the views and/or privacy of adjoining landowners. Due to the addition being one-storey, and the separation to other buildings, there are no negative overshadowing impacts associated with the development.
E. Development should provide for year-round weather protection that reduces the impacts of wind and snow accumulation in winter and provides adequate shade in summer	Complies.
F. Development should provide clearly defined and separate pedestrian and vehicle entries to minimise conflicts.	Existing
G. Development should allow for snow clearing and adequate interface with oversnow vehicles, where appropriate.	Existing

5.3.4 CHAPTER 13 TRANSPORT & INFRASTRUCTURE

Transport Network (13.1) Performance Criteria	
A. Transport infrastructure should integrate the public transport network with the existing road network by: i. ensuring public transport stops are strategically located and provide adequate all-weather shelter and accessibility. ii. minimising vehicle conflict with active transport and public transport routes	Existing
B. Development must provide operational access and egress for emergency services and occupants	Existing
C. Development should integrate active transport connections that promote movements between the Alpine resorts, where possible	Existing. The proposed works will not result in an increase of visitors to the resort.
D. New development must provide and integrate new technologies, such as electric vehicle charging and electronic checkpoints, where possible	N/A.
Utilities, Services & Infrastructure Performance Criteria	
A. Development within the site must have access to water, wastewater, digital	Complies

connectivity and telecommunications, energy and drainage infrastructure.	
B. Utilities and services must be integrated with existing infrastructure and services, where possible.	Existing
C. Utilities and services should be integrated into road reserves, active transport corridors or the public domain, where possible.	Existing
D. Infrastructure and services must be designed to provide for the ultimate growth and development in Alpine Resorts.	Existing
E. Development should provide and integrate water cycle management and renewable energy solutions into the design of buildings and structures, where possible	Existing

5.3 OTHER APPROVALS RURAL FIRES ACT 1997

All subject sites are identified as being BFPL, hence as outlined in *Planning for Bushfire Protection – PBP 2019* (NSW RFS 2019) is considered Special Fire Protection Purpose (SFPP) and is required to obtain a BFSA from the RFS under section 100B of the RF Act. See BHAR submitted as part of this application.

5.4 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (203)

5.4.1 OBJECTS OF THE EP&A ACT

In determining a development application, a consent authority must take into consideration the matters referred to in Clause 4.15 (1) of the EP&A Act as are of relevance to the development:

4.15 – 1 (a) (i) the provisions of an environmental planning instrument
The applicable environmental planning instrument is State Environmental Planning Policy (Precincts—Regional) 2021.
4.15 – 1 (a) (ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)
None are applicable to the proposal.
4.15 – 1 (a) (iii) the provisions of any development control plan
None are applicable to the proposal.
4.15 – 1 (a) (iiia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4
None are applicable to the proposal.
4.15 – 1 (a) (iv) the provisions of any Regulations (to the extent that they prescribe matters for the purposes of this paragraph)
None are applicable to the proposal.
4.15 – 1 (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Natural Environment: The proposed works are not anticipated to have any negative impacts on the surrounding natural environment.

Built Environment: The new garage and drying room addition have been designed to suit the mass and scale of the existing lodge and neighbouring buildings. A mix of materials have been chosen to fit in with the character of existing buildings located along Mountain Drive. The overall change to the built environment is considered of positive influence on the existing building and locality.

Social and Economic impacts in the locality: The proposed works have been designed to minimise any amenity impacts on the neighbouring buildings, they are not expected to generate any negative social or economic issues.

4.15 – 1 (c) the suitability of the site for the development

The proposed garage and drying room addition has been thoughtfully sited and designed for the subject lot, and existing development, to ensure it is suitable for the site. The addition is compatible with the existing lodge and will be sympathetic to surrounding developments.

The subject site is identified as being in BFPL, and hence as outlined in *Planning for Bushfire Protection – PBP 2019* (NSW RFS 2019) is considered Special Fire Protection Purpose (SFPP) and is required to obtain a BFSA from the RFS under section 100B of the RF Act. See bushfire hazard assessment report submitted as part of this application.

The site is within “Zone G” of the Kosciuszko National Parks Alpine Resorts, and hence a geotechnical investigation and slope instability risk assessment is required. Refer to Geotechnical report and Form 4 submitted as part of this application.

4.15 – 1 (d) any submissions made in accordance with this Act or the regulations

The application will be notified in accordance with EP&A Act.

4.15 – 1 (e) the public interest

The development proposal satisfies the objectives of the State Environmental Planning Policy (Precincts—Regional) 2021 and is considered positive in terms of the public interest.

6.0 CONCLUSION

SUITABILITY OF THE SITE FOR DEVELOPMENT

The proposal complies with the relevant environmental planning instruments and policies. The Statement of Environmental Effects confirms that the site is suitable and capable of sustaining the proposed development, with no adverse impacts.

Submissions Made in Accordance with the Act or regulations:

Given the proposals minimal environmental impact it is unlikely to raise significant objection.

The Public Interest

The proposal is in the public interest as:

- It provides a sustainable land use.
- The proposal is suitable within the locality.
- The proposal is positive in terms of the amenity of the area.

7.0 SITE ENVIRONMENTAL MANAGEMENT PLAN (SEMP)

As detailed in the Statement of Environmental Effects, the proposed works will generate minimal impacts.

- No site clearing activity will occur through this project.
- Minor ground disturbance and excavation works will be occurring for the footings/slab of the addition.
- No flow paths will be altered as a result of this development.
- Construction vehicles will enter the site via the existing site entry via the bridge from Friday Drive.
- Construction vehicles will park in the sites existing designated car parks.
- All construction materials will be stored in an appropriate location on site.

DUST CONTROL

Works involving dust dispersion will use water spray to help keep material damp and dust down. Covers will be placed over waste storage areas and piles of excavated materials to prevent dust dispersion. When transporting materials that cause dust they will be dampened and covered before moving.

LITTER CONTROL

Litter control around the site is the responsibility of all on site. A daily site clean up to reduce litter around the site and prevent any possible hazards it causes will be performed. It is the subcontractor's responsibility to leave the work area neat, clean, and free of litter. Litter collected can be placed in bins or specified areas and disposed of at the local council tip.

EMERGENCY PROCEDURES

In case of an emergency, the following key emergency response contacts are:

Organisation	Emergency Phone	Non-Emergency Phone
NSW Police	000	Adaminaby: 02 6456 2244
NSW Fire and Rescue	000	Cooma: 02 6452 2037
NSW Ambulance	000	Cooma: 02 9320 7777
Cooma Hospital	02 6455 3222	
National Parks and Wildlife Service (NPWS)/OEH	1800 629 104	Snowy Region: 6450 5600 Jindabyne: 6450 5555
Roads and Maritime Services	Traffic incidents & road conditions: 131 700 Road closures and special events: 132 701	
EPA Environment Line	131 555	
NRMA Road Service	13 21 32	

NOISE CONTROL

Noise on a construction site can become a form of pollution to the local environment through the use of plant, machinery and tools. For protection of employees and visitors to the site they are issued with PPE including ear protection.

To reduce noise pollution from site the following procedures will be followed:

- All plant, machinery and tools will be maintained in good working order at all times.
- Work involving noisy tools or machinery to be used inside the building structure when possible.
- Strict hours of operation for each site will be implemented to reduce noise pollution to the surrounding areas
- In the instance of receiving a complaint in regard to noise levels immediate rectification will occur as far as practical.

FUELS & CHEMICALS

No fuel or chemicals will be stored onsite during construction.

CHEMICAL SPILL PREVENTION AND CONTAINMENT

The proposed development will not require the storage or use of any hazardous materials. However, if any petroleum products, trade waste, garbage and other noxious substances are required for the subject works, although unlikely to be required in any substantial amount, this will be appropriately stored off-site.

INDIGENOUS HERITAGE

Should any material suspected of being an Aboriginal object become unearthed in the course of works associated with the proposed works, all work at that location shall cease immediately as per Section 90 of the *National Parks and Wildlife Act 1974*, and the Office of Environment and Heritage shall be contacted immediately to arrange for representatives to inspect the site.

WASTE MANAGEMENT

Waste management is a crucial aspect to managing the impact of development in Kosciuszko National Park. No ground disturbance is proposed to occur within 40m of the Thredbo River, however caution must be taken when disposing of and handling waste material on site, to prevent any runoff of debris into the waterway. All waste generated from the proposed works, and the general construction waste and other waste associated with the repair work and construction of the new Mountain Bike Storage Facility will be disposed of in a skip bin, that will then be deposited to an external waste facility.

To ensure that waste is managed appropriately, the following controls and measures are to be adhered to:

- All litter generated on site is to be placed in small garbage bags. These bags are to be disposed of appropriately in a timely manner.
- A daily inspection shall be carried out to ensure the worksite is left in a rubbish free state.
- All employees shall be informed of the need to maintain a clean worksite.
- Site generated waste including garbage, grouting and mortar and excess stabilisation materials shall be collected and removed from the site.
- All loads of rubbish removed shall be securely covered to ensure no spillage.
- To the furthest extent possible efforts shall be made to reduce, reuse, and recycle materials used onsite.
- The worksite shall be left in a tidy and rubbish free state upon completion of the Project.

NOISE AND VIBRATION POLLUTION

The intended hours of construction have not yet been determined. Hours for construction will be determined in order to allow for construction on suitable days during appropriate hours to prevent any negative impacts on the amenity of visitors and staff.

AIR POLLUTION

the construction of the proposed development is not expected to create any unnecessary air pollution.

TRAFFIC MANAGEMENT

The overall principles for traffic management during demolition, excavation and construction phases of the development are:

- minimise effects on traffic movements and amenity.
- manage and control vehicular movements to and from the site.
- maintain traffic capacity at intersections.
- maintain existing on-street parking in the vicinity of the site where practical.
- maintain access to other properties adjacent to the site.
- maintain safety for workers.
- provide appropriate access to the site for, excavation and construction traffic; and
- manage and control vehicle activity in the vicinity of the site.

8.0 SITE ENVIRONMENTAL MANAGEMENT PLAN (SEMP) DIAGRAMS

DIAGRAM A: STANDARD STRAW BALE FILTER INSTALLATION

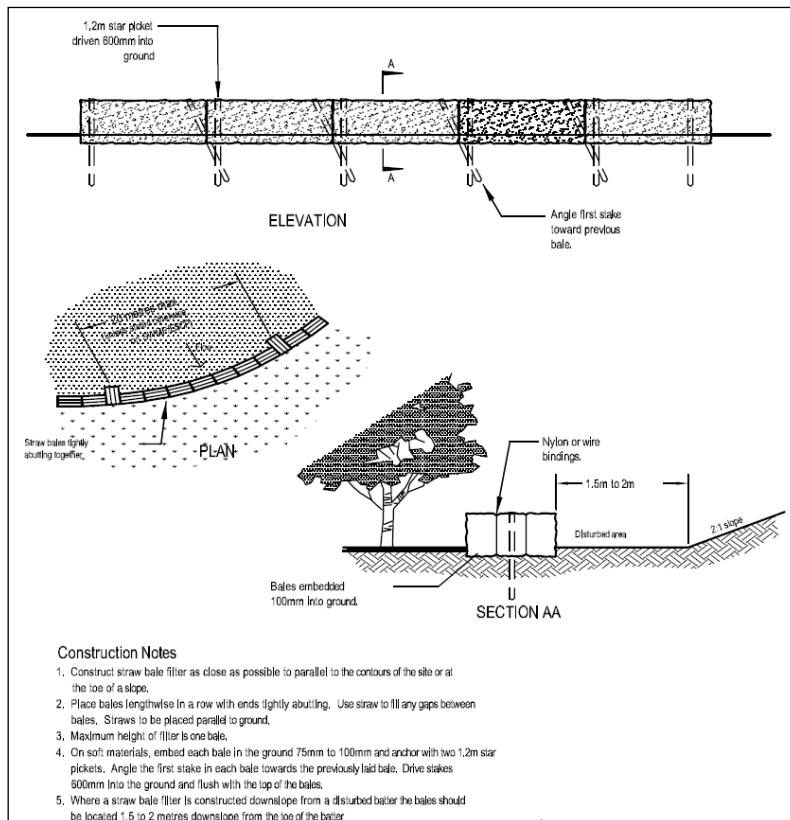
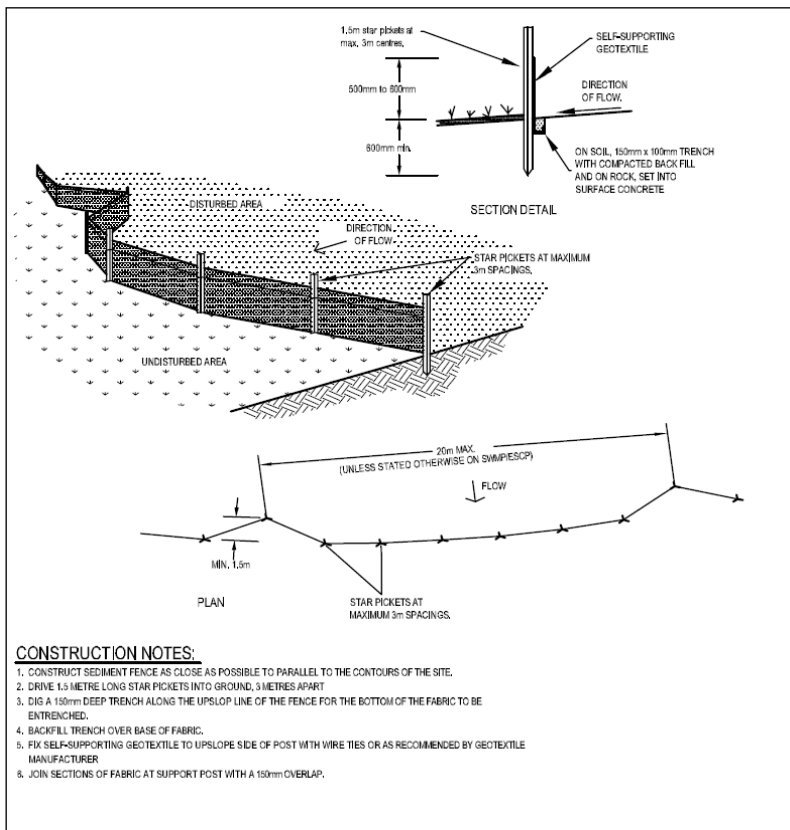


DIAGRAM B: STANDARD SEDIMENT FENCE INSTALLATION



APPENDIX I

APZ PLAN

